

Development Application **ACCESS REPORT**

Reference Number: 22063

Client: St Stanislaus College, Bathurst

Site Address: 220 Bentinck Street, Bathurst NSW.



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Executive Summary and Design Compliance Statement

This Access Compliance Report is to accompany a Development Application (DA) for the development proposed at **220 Bentinck Street, Bathurst NSW**.

The development is within Bathurst Regional Council LGA and proposes **Additions and Alterations to Existing Buildings within an educational precinct which offers Boarding facilities**.

The development proposes the following:

The development has building classification as detailed below:

- Class 3 (residential boarding house, hostel accommodation or similar)
- Class 9b (assembly building, school)

This report is based on the relevant components of:

- Building Code of Australia (BCA) 2019, Volume 1- Performance requirements of DP1, DP2, DP8, DP9, EP3.4, FP2.1 and Parts D2, D3, E3 and F2 (where applicable)
- Disability (Access to Premises-Building) Standards 2010 (henceforth referred to as APS)
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments
- AS2890.6-2009 Part 6: Off-street parking for people with disabilities.
- AS1735-1999 Lift types included in the BCA including Part 12: Facilities for persons with disabilities

The assessment of the proposed development has been undertaken to the extent necessary to issue DA consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with a disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, the development complies with the requirements of Access Code of Disability (Access to Premises-Building) Standards 2010, and the Disability Access relevant sections of Building Code of Australia 2019.

The information contained in this statement is true and accurate to the best of our knowledge. Our qualifications and accreditations are listed below.

Assessed by



Vanessa Griffin

Accredited Access Consultant and LHA Assessor
ACAA Accredited Membership number 500
Qualified- Certificate IV in Access Consulting
LHA Assessor Licence number 20035

Vista Access Architects Pty. Ltd.

Peer reviewed by



Farah Madon

Accredited Access Consultant and LHA Assessor
ACAA Accredited Membership number 281
Qualified- Diploma in Access Consulting
LHA Assessor Licence number 10032

Relevant Dates:

Fee proposal, number FP-22111 dated **12-02-2022**. Fee proposal was accepted by Client on **17-02-2022**

Assessed Drawings:

The following drawings by Stanton Dahl Architects have been assessed for compliance.

Drawing no	Issue	Date	Details
DA01	01	06-02-2023	Site Plan Existing
DA03	01	06-02-2023	Basement Floor Plan - Existing
DA04	01	06-02-2023	Ground Floor Plan - Existing
DA05	01	06-02-2023	Upper Ground Floor Plan - Existing
DA06	01	06-02-2023	First Floor Plan - Existing
DA07	01	06-02-2023	Second Floor Plan - Existing
DA08	01	06-02-2023	Detailed Site Plan
DA09	01	06-02-2023	Basement Floor Plan – Proposed New Works
DA10	01	06-02-2023	Detailed Basement Floor Plan – sheet 1
DA11	01	06-02-2023	Ground Floor Plan – Proposed New Works
DA12	01	06-02-2023	Detailed Ground Floor Plan – sheet 1
DA12A	01	06-02-2023	Detailed Ground Floor Plan – Access Plan 1
DA13	01	06-02-2023	Detailed Ground Floor Plan – sheet 2
DA13A	01	06-02-2023	Detailed Access Ground Floor Plan – sheet 2
DA14	01	06-02-2023	Detailed Ground Floor Plan – sheet 3
DA14A	01	06-02-2023	Detailed Access Ground Floor Plan – sheet 3
DA15	01	06-02-2023	Detailed Ground Floor Plan – sheet 4
DA15A	01	06-02-2023	Detailed Access Ground Floor Plan – sheet 4
DA16	01	06-02-2023	Detailed Ground Floor Plan – sheet 5
DA16A	01	06-02-2023	Detailed Access Ground Floor Plan – sheet 5
DA17	01	06-02-2023	Detailed Ground Floor Plan – sheet 6
DA17A	01	06-02-2023	Detailed Access Ground Floor Plan – sheet 6
DA18	01	06-02-2023	Upper Ground Floor Plan – proposed new works
DA19	01	06-02-2023	Detailed Upper Ground Floor Plan
DA19A	01	06-02-2023	Detailed Upper Ground Floor Access Plan
DA20	01	06-02-2023	First Floor Plan – Proposed new works
DA21	01	06-02-2023	Detailed First Floor- Sheet 1

DA21A	01	06-02-2023	Detailed First Floor- Access Plan 1
DA22	01	06-02-2023	Detailed First Floor- Sheet 2
DA22A	01	06-02-2023	Detailed First Floor- Access Plan 2
DA23	01	06-02-2023	Detailed First Floor- Sheet 3
DA23A	01	06-02-2023	Detailed First Floor- Access Plan 3
DA24	01	06-02-2023	Second Floor Plan – Proposed new works
DA25	01	06-02-2023	Detailed Second Floor- Sheet 1
DA25A	01	06-02-2023	Detailed Second Floor- Access Plan 1
DA26	01	06-02-2023	Detailed Second Floor- Sheet 2
DA26A	01	06-02-2023	Detailed Second Floor- Access Plan 2
DA27	01	06-02-2023	Detailed Second Floor- Sheet 3
DA27A	01	06-02-2023	Detailed Second Floor- Access Plan 3

Document Issue:

Issue	Date	Details
Draft 1	1-12-2022	Issued for Architect's review
A	31-01-2023	Issued for DA
B	09-02-2023	Updated for DA

Limitations and Copyright information:

This report is based on discussions with the project architect and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this report.

This assessment is based on the provided drawings and not based on constructed works; hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1, AS2890.6 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the class of the building changes to any other building class, this access report will have to be updated accordingly.

Unless stated otherwise, all dimensions mentioned in the report are net (CLEAR) dimensions and are not to be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. When we check drawings, we assume that the dimensions noted are CLEAR dimensions and therefore the Architect / Builder shall allow for construction tolerances.

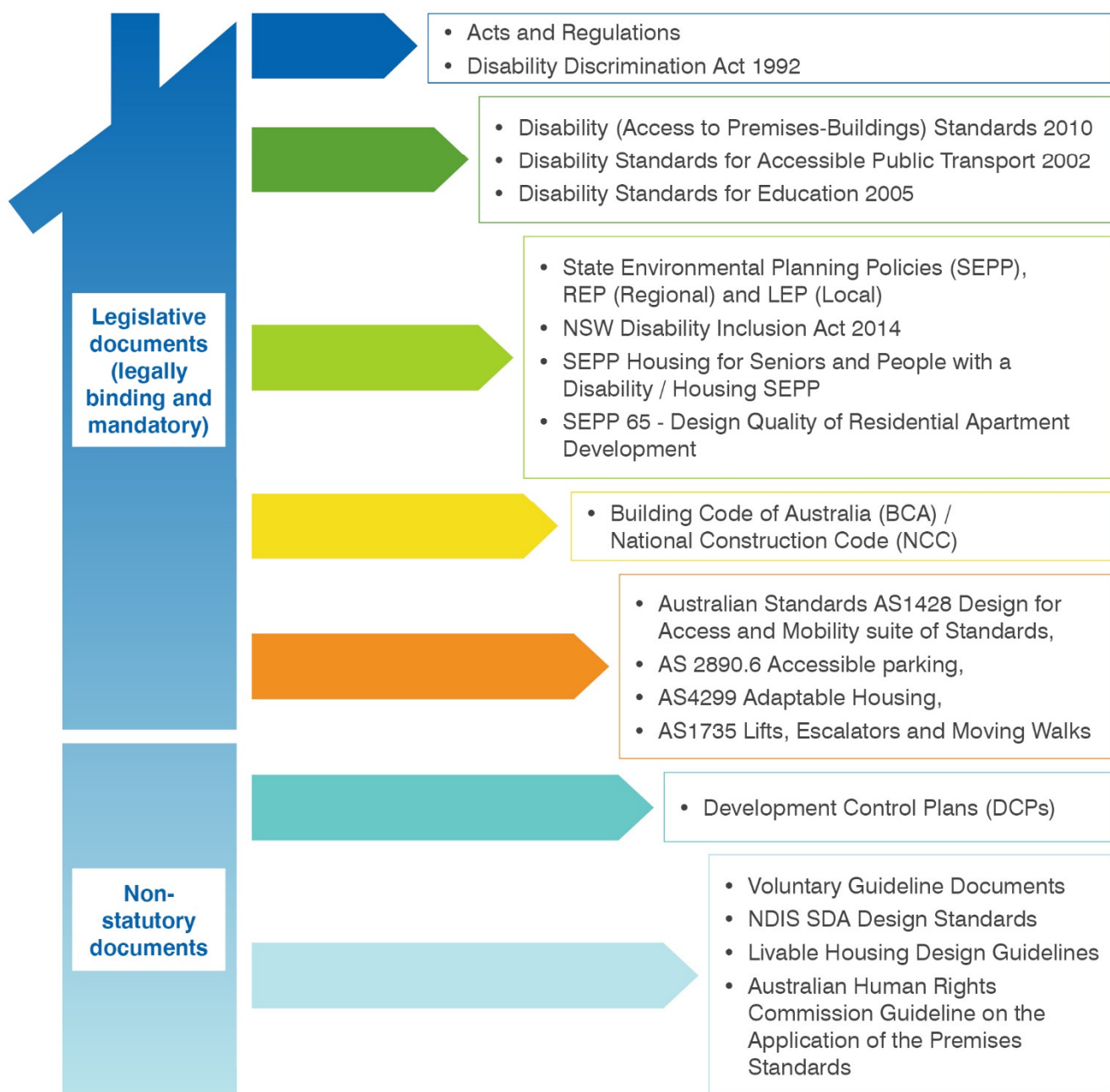
Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report and for further details and for construction purposes refer to the latest relevant AS.

This report and all its contents including diagrams are a copyright of Vista Access Architects Pty Ltd (VAA) and can only be used for the purposes of this specific project. Copy-pasting diagrams from this report to Architectural plans will constitute copyright infringement.

This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report. VAA gives no warranty or guarantee that this report is correct or complete and will not be liable for any loss arising from the use of this report. We will use our best judgement regarding LHA assessments. However, we are not to be held responsible if another licenced LHA assessor comes to a different conclusion about compliance, certification, or allocation of a particular Quality mark to us as several items in LHA are subject to interpretation.

We have no ability to check for slip resistance of surfaces. All wet areas, parking areas, pavement markings shall have the appropriate slip resistance for the location. We also have no ability to check for wall reinforcements once the walls have already been constructed. The builder shall take full responsibility that the requirements listed in this report are met and the construction and slip resistance shall be as per requirements of AS1428.1/ AS4299 / AS2890.6/ AS3661/ AS4586/ HB197/ HB198 and any other applicable regulation and Australian Standard

Hierarchy of Access-related Legislation and Standards



The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. Section 32 of the DDA focuses on the provision of equitable and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities.

Disability discrimination happens when people with a disability and their relatives, friends, carers, co-workers or associates are treated less fairly than people without a disability.

Compliance with Access to Premises Standards give certainty to building certifiers, building developers and building managers that, if access to (new parts) of buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the DDA. This however applies only to the new building or new parts of an existing building and its affected part. All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the Courts.

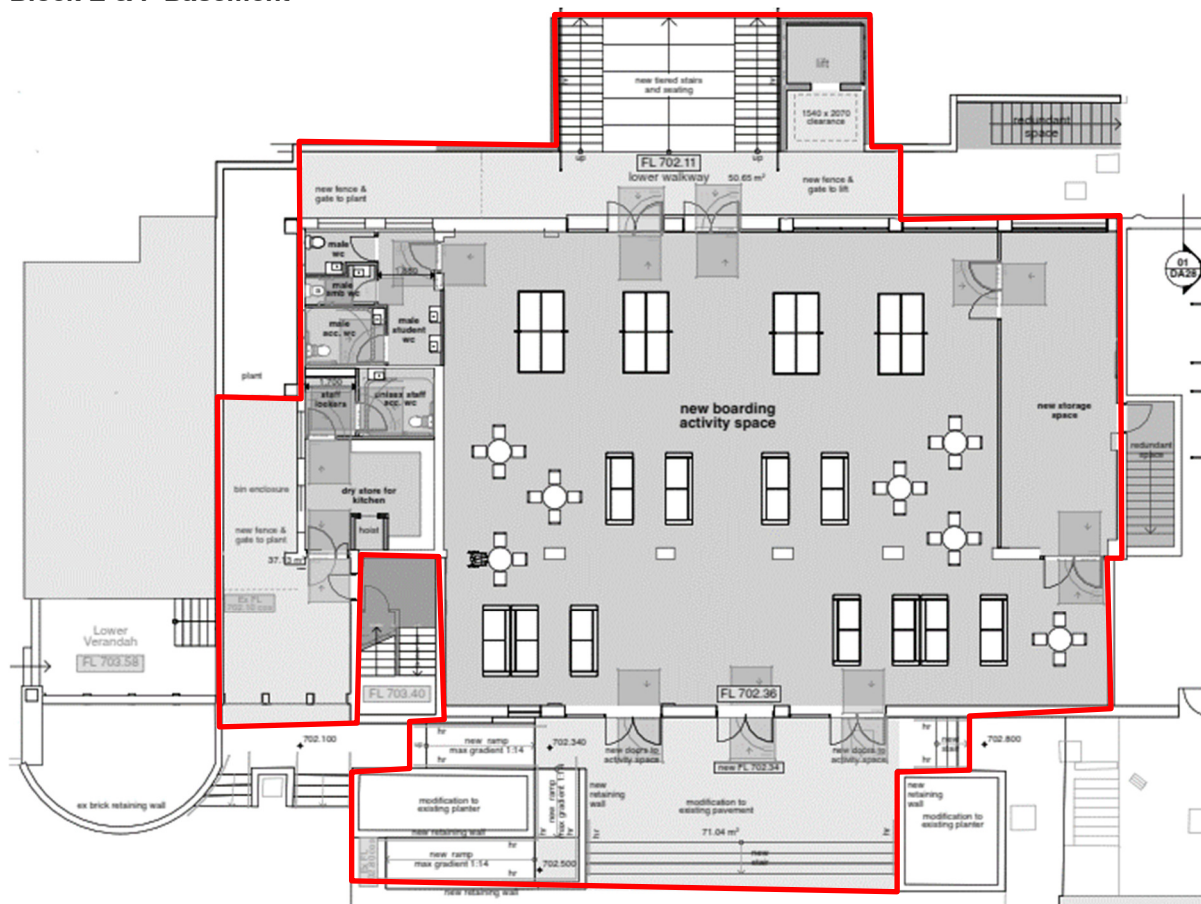
Scope of DDA extends beyond the building fabric and also includes furniture and fittings.

Affected part upgrades

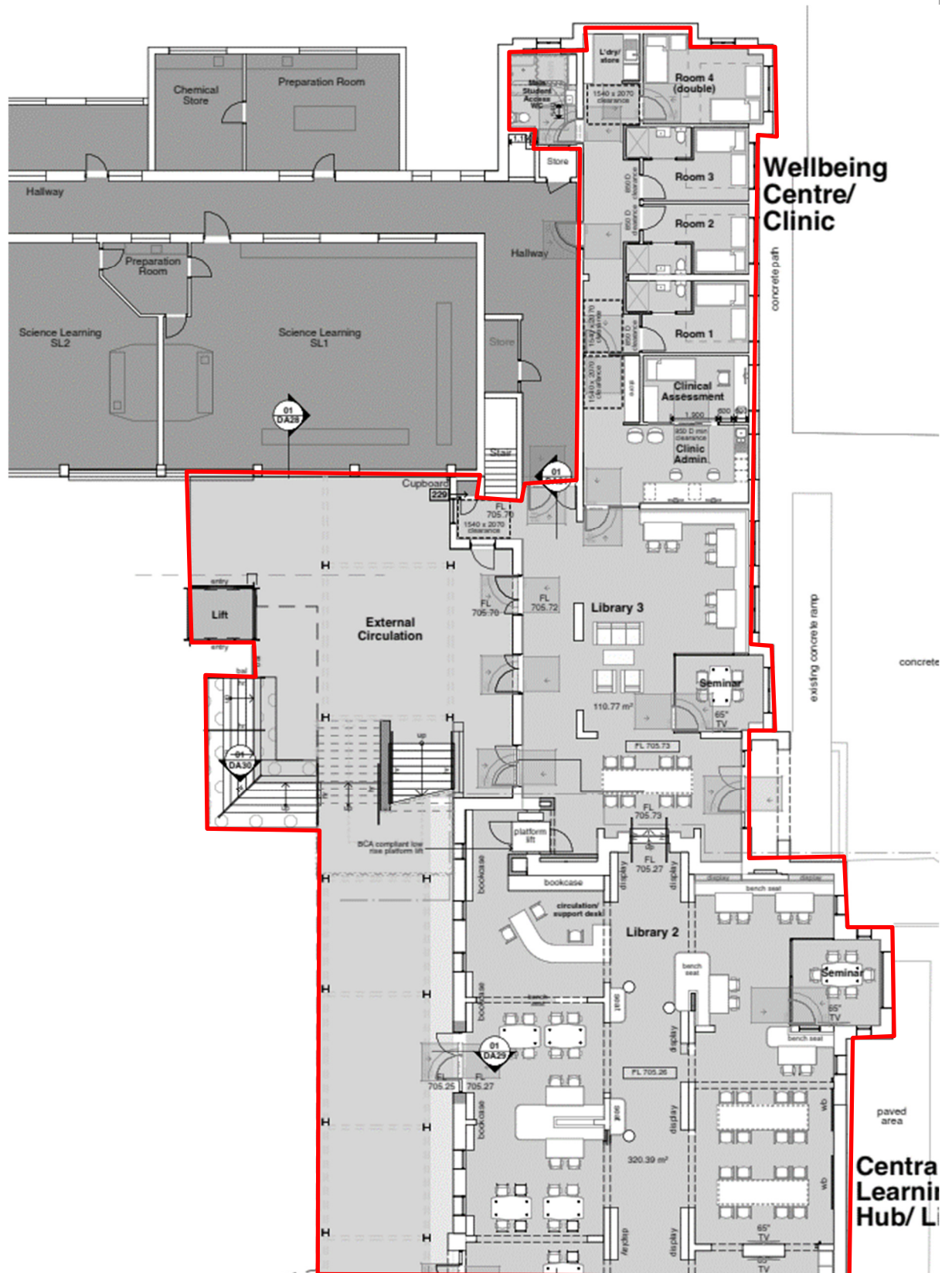
- In general, APS covers new building work to existing buildings, such as an extension or an upgrade.
- APS only applies to the part of the building that is the subject of the building approval application (i.e., new, and modified works) and the 'affected part' of works.
- Application of the APS to the new work in an existing building does not trigger the need to upgrade the whole building or parts of the building outside the new work that is subject to the building approval application.
- The definition of 'affected part' of a building is limited to the area between (and including) the principal pedestrian entrance and the new work but does not extend from the entrance to the allotment boundary or any required carparking spaces. It also does not extend to any toilet facilities or other rooms adjacent to the pathway between the principal pedestrian entrance and the area of the new work.
- When the 'affected part' is triggered it does not require access upgrades to any step or stairway adjacent to a continuous accessible path of travel.
- Where an access barrier, such as a step, is located at the threshold of a principal pedestrian entrance the 'affected part' upgrade would require the removal of the step.

Compliance Complies

As stated in the above requirements, APS only applies to, New works, Modified works andm Works within the 'affected part' In this development, the new works, modified works and works within the 'affected part' have been shown in the plan below with a red boundary



Block C



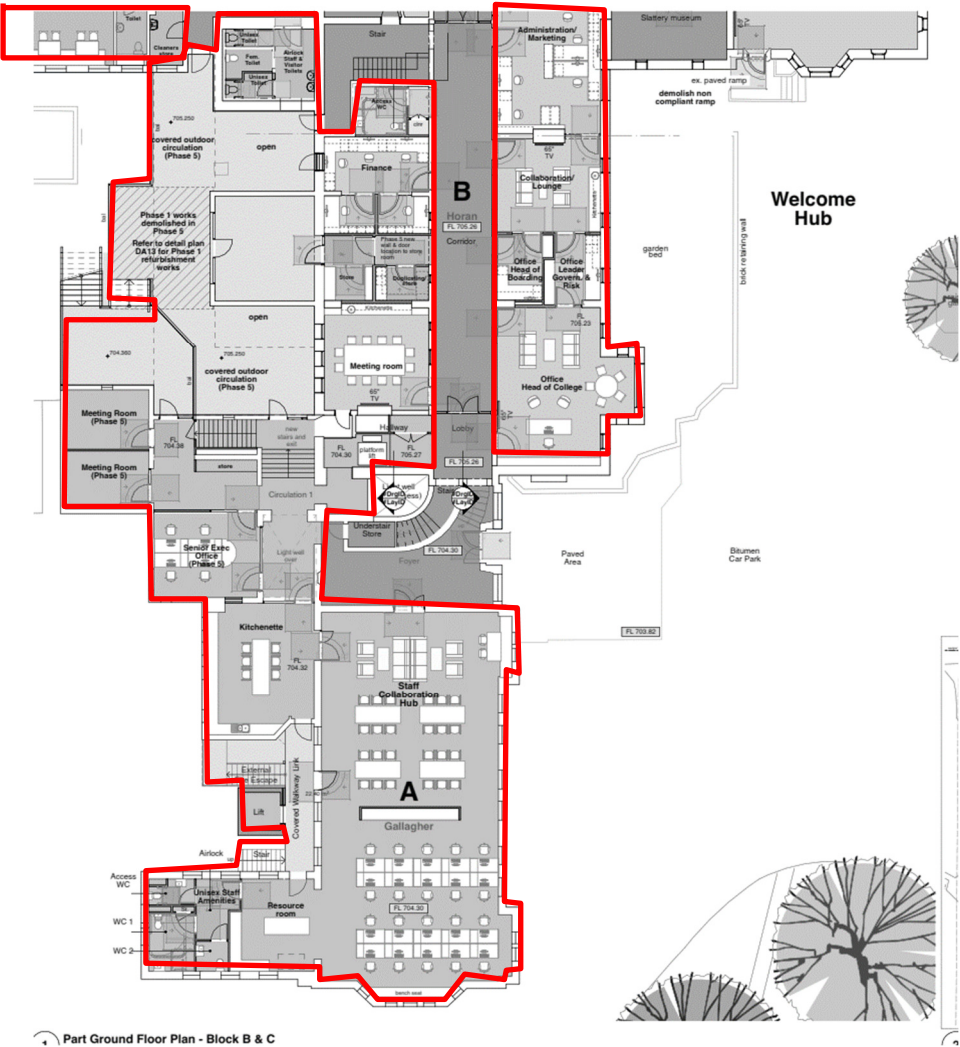
Block B & C

The floor plan illustrates the layout of Block B and Block C. Key features include:

- Boarding Dining and Hospitality Room:** Located in the upper left, featuring a large open space with tables and chairs.
- Community Hub/ Dining/Hospitality Facility:** Situated below the boarding room, including a kitchen and service areas.
- Central Learning Hub/ Library:** Located in the upper right, featuring a large study area and a library.
- Welcome Hub/ Administration:** Situated in the lower right, including a reception area and administrative offices.
- Meeting Rooms and Offices:** Various rooms for meetings and office work are distributed throughout the plan, including a "Meeting room" and "Office Head of College".
- Other Facilities:** The plan also shows a "Cafe", "Reception/Foyer", "Marble Hall/Entry foyer", "Slattery museum", and "Finance" department.
- Outdoor Spaces:** A "garden bed" and "Paved Area" are shown in the lower right, along with a "circular driveway" in the lower left.

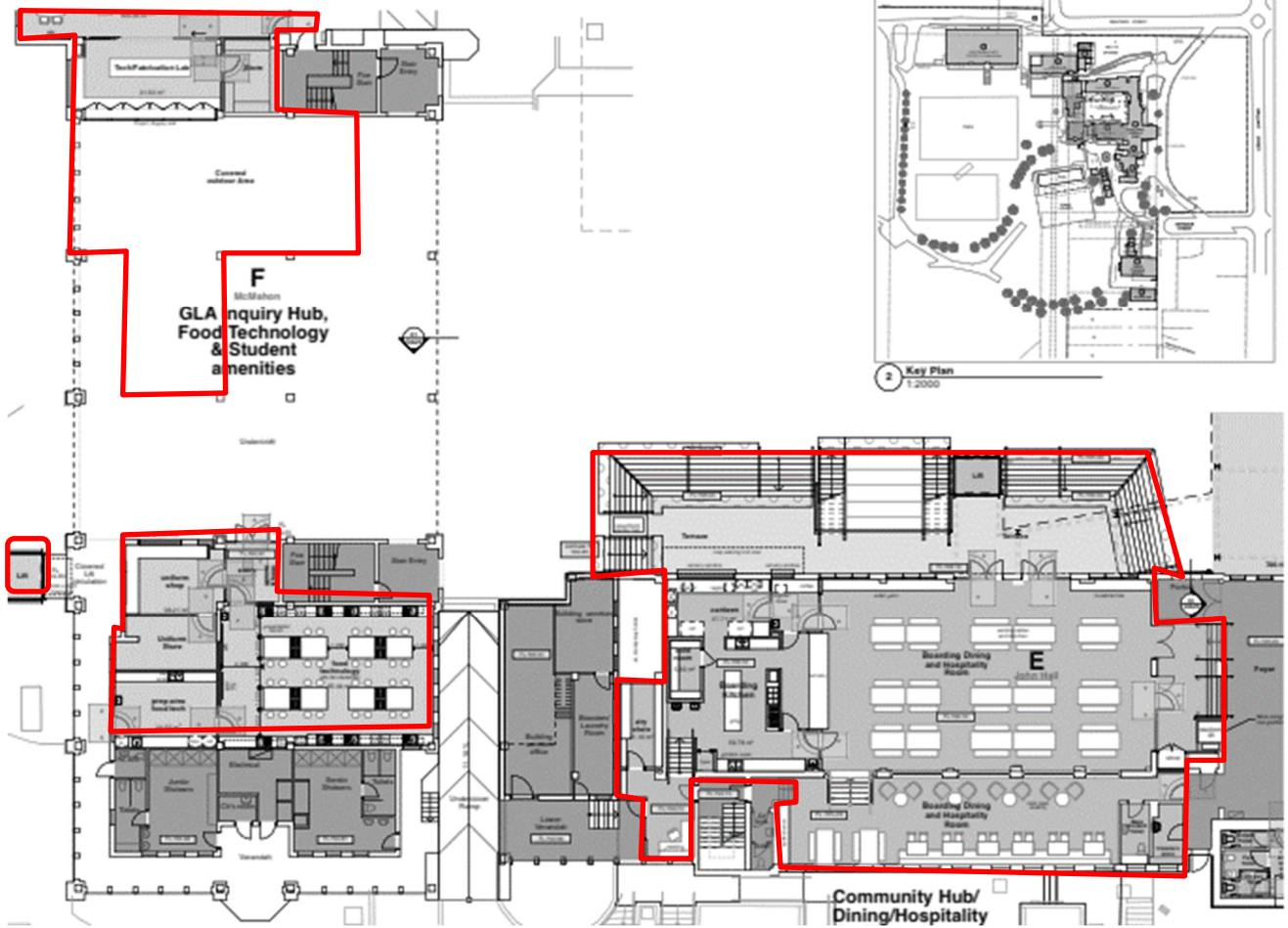
A red outline highlights a specific area within the plan, encompassing the Boarding Dining and Hospitality Room, the Community Hub, and parts of the central and welcome hubs.

Block B & C

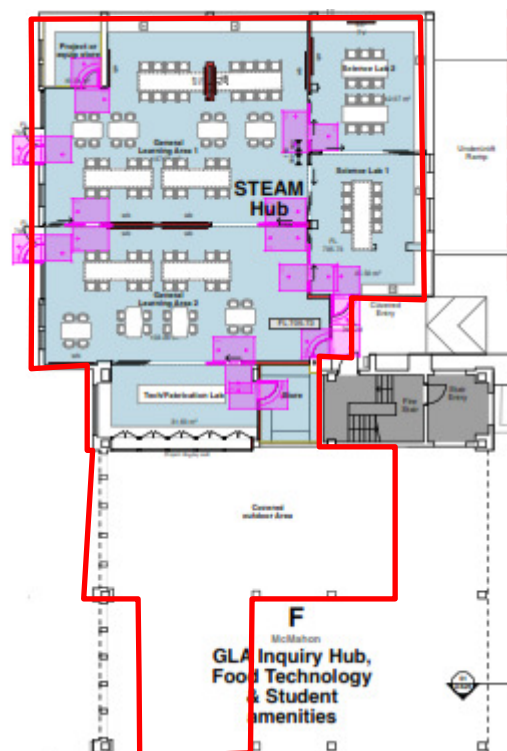


Part Ground Floor Plan - Block B & C

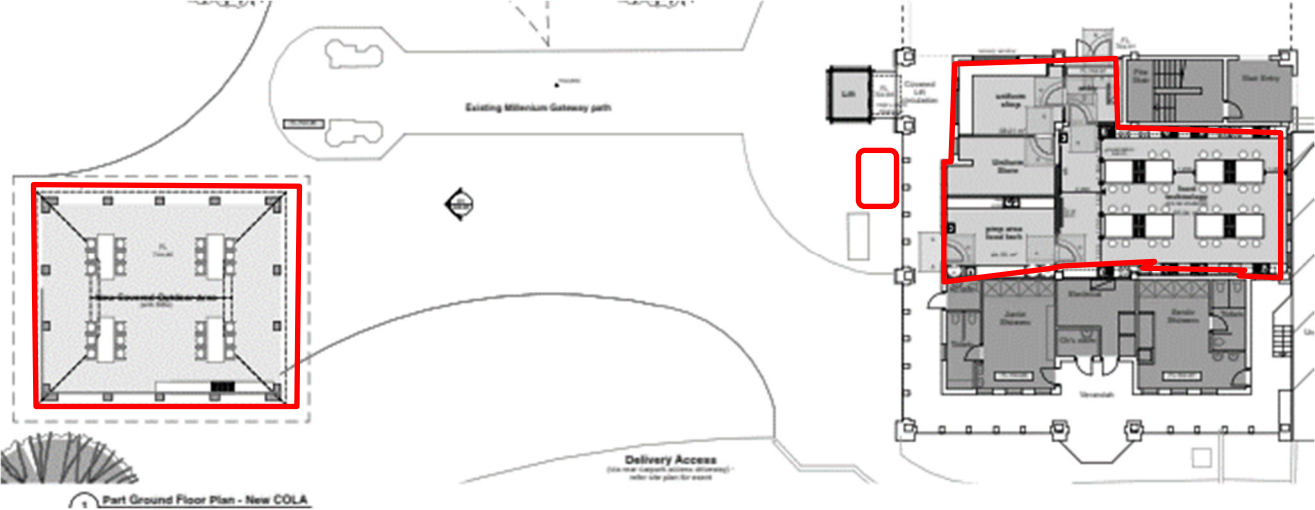
Block E & F



Block F



Ground Floor Plan including new COLA



Upper Ground Block E



The floor plan shows the layout of the first floor. Key areas include:

- Staff Quarters (Red):** Bedroom 1 (staff), Bath 1 (staff), Kitchen (staff), and Bedroom 2 (staff).
- Staff Accommodation (Orange):** A central area with a table and chairs, labeled "Staff accommodation FL 708.22".
- Other Rooms:** Disused Store, Disused Bathroom, WC (staff), laundry/store, and a Disused area (1.5m c/g height).
- New Infrastructure (Blue):** New lift, New covered walkway link, and New stairs.
- Other Features:** Ex light well, Ex external fire escape, and a "Refer First floor plan" note.

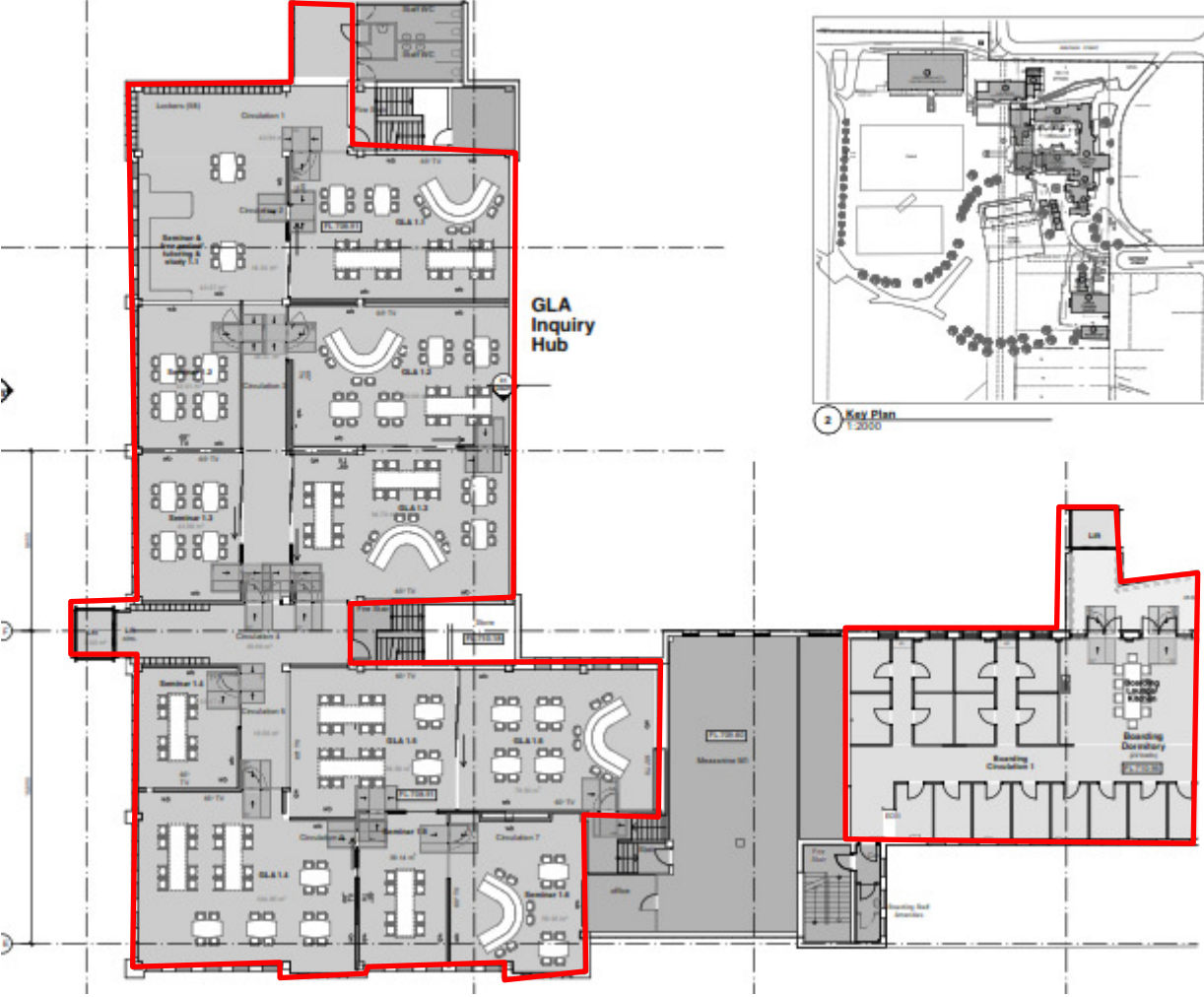
First Floor Plan Block C



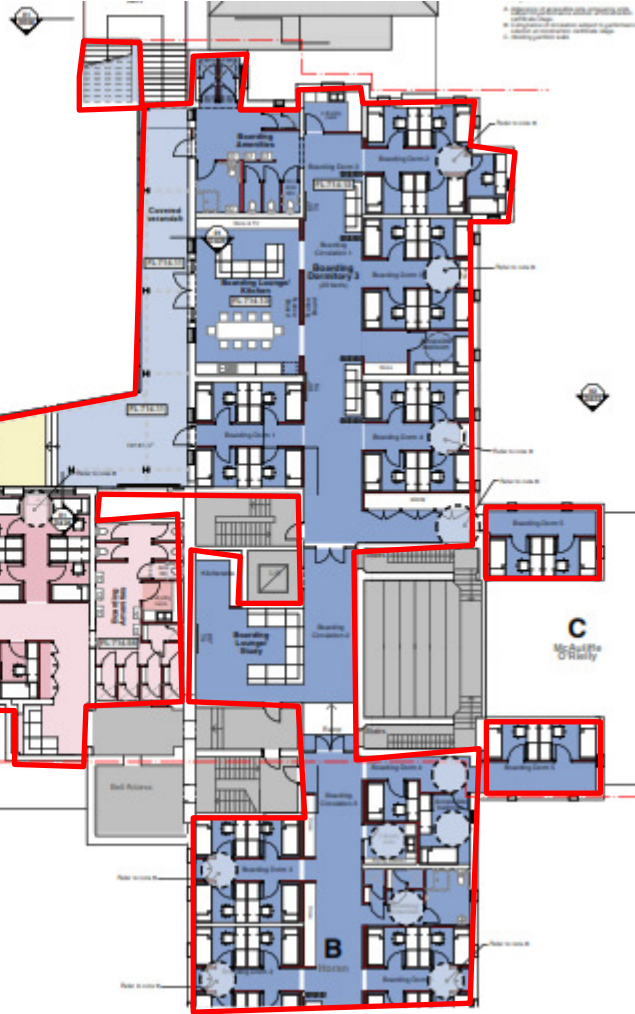
Block A, B & C First Floor Plan



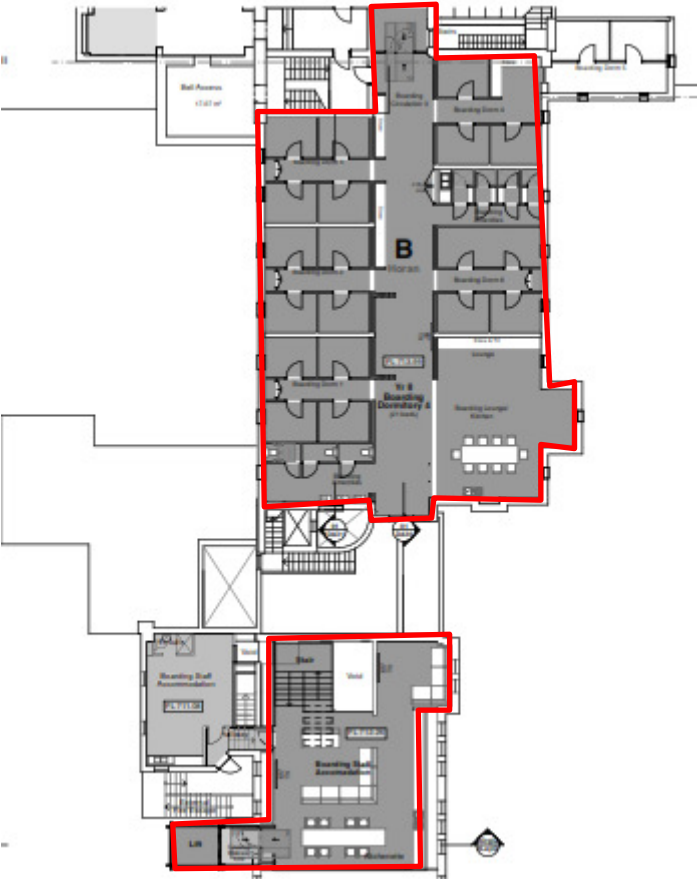
Block E & F First Floor



A site plan of the University of Illinois at Chicago campus. The plan shows various buildings, parking lots, and green spaces. A red cross symbol marks the location of the new building, and a grey cross symbol marks the location of the existing building. The plan also shows the locations of the new and existing libraries, the new and existing student centers, and the new and existing dining halls. The plan is oriented with North at the top.

[illegible]

Block A & B second floor plan



Block E & F second Floor Plan



Lift Concession

Requirement

- Where an existing lift travels more than 12M and has a lift car floor of not less than 1100mmx1400mm, i.e., if it complies with access requirements imposed by the BCA prior to the commencement of APS, it does not have to meet the current Access Code requirements of minimum lift car floor size of 1400mmx1600mm.
- Other access features of a lift undergoing upgrade required by BCA Table E3.6(b), such as requirements for accessible lift controls and provision of audible information must be provided.

Compliance Complies

Comments

Details to be verified at the CC stage of works.

Toilet Concession

Requirement

- Where an existing sanitary compartment complies with the circulation and fit out requirements of AS 1428.1–2001, it would be not be required to upgrade it to meet the requirements of AS 1428.1–2009.
- Also, where existing accessible toilet is required to be upgraded to comply with AS1428.1-2009 this would not trigger the need for an upgrade of the other male and female toilets at the bank to provide for ambulant accessible toilets unless those other toilets were the subject of new work.

Compliance: For information only

Comments

Details to be verified at the CC stage of works.

Compliance assessment with Access related requirements of BCA and Disability (Access to Premises-Building) Standards 2010 (APS)

The development consists of Additions and Alterations to an existing building and therefore the requirements in this report only apply to the New works, Modified works and Works within the 'affected part' as identified earlier in the report

BCA 2019 Part D3 Access for People with a Disability BCA D3.1 General building Access requirements

SOU refers to a Sole Occupancy Unit

Requirement

Class 3 - residential boarding house, hostel accommodation or similar

Access is required:

- From a required accessible pedestrian entrance to at least 1 floor with SOUs and to the entry of doors of each SOU on that level.
- To and within 1 of each type of room or space in common use.
- Where floor is accessed by an AS1428.1 ramp or lift, access is required to the entry doorway of each SOU on that level and to and within all common use areas on that level.

Accessible SOU requirements:

- Not more than 2 Accessible SOUs to be located adjacent to each other.
- Where more than 2 Accessible SOUs are required, they are to represent a range of available rooms.

Total number of SOUs	Accessible SOUs required
1 to 10 SOUs	1 accessible SOU
11 to 40 SOUs	2 accessible SOUs
41 to 60 SOUs	3 accessible SOUs
61 to 80 SOUs	4 accessible SOUs
81 to 100 SOUs	5 accessible SOUs
101 to 200 SOUs	5 accessible SOUs + 1 per 25 (in excess of 100)
201 to 500 SOUs	9 accessible SOUs + 1 per 30 (in excess of 200)
More than 500 SOUs	19 accessible SOUs + 1 per 50 (in excess of 500)

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

- The development has a total of 120 Bedrooms and therefore 6 Bedrooms are required to be provided, representing the range of available rooms. It should be noted that the school provides 6 dormitory houses and an accessible room is provided to each "house".
- No more than 2 Accessible SOUs are adjacent to each other.
- Access has been provided from the main pedestrian entry doorway to the entry doors of all SOUs on all floor levels by means of accessible pathways and lifts
- Access has been provided to at least 1 of each common use areas.
- Where common use areas are on a floor that is accessible by means of a ramp or lift (bathroom, laundry, lounge, kitchen and bathrooms in this case), access has been provided to the same.
Note: All Laundry for the boarding students is undertaken by the school contractors. A cupboard style laundry is provided to each dorm to encourage students to wash personal items, however, this is not mandated.
- As a minimum 1550mm clear space is required in front of any common use kitchen benchtops / BBQ areas provided in the development.

- All common use accessway widths are to be a minimum of 1M clear measured from skirting to skirting (increases to comply with door circulation spaces where doorways provided) with vertical clearance of at least 2M

Advisory note for any common use kitchen or BBQ areas (where provided)

- It is recommended that kitchen / BBQ areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop/BBQ as vacant space (without cabinetry under the bench top)
- Provide long lever tap to sink with and handle and water source being within 300mm from the front edge of the benchtop.
- Provide 1 double GPO within 300mm from the front edge of the benchtop.

Advisory note for Reception tables (where provided)

- It is recommended that a lower section for a width of 900mm could be provided to be able to be used by a person in a wheelchair. Height of the FFL (finished floor level) to the top of the table to be 850+/-20mm and height of clearance beneath the unit from the FFL to be 820+/-20mm

Details to be verified at CC stage of works.

Requirement

Class 9b - Schools and early childhood centres.

- To and within all areas that are normally used by the occupants.

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

- Access has been provided to and within all areas required to be accessible.
- Access has been provided to common use garbage storage area
- All common use accessway widths are to be a minimum of 1M clear measured from skirting to skirting (increases to comply with door circulation spaces where doorways provided) with vertical clearance of at least 2M

Advisory note for any common use kitchen or BBQ areas (where provided)

- It is recommended that kitchen / BBQ areas could be made partially accessible by providing a workspace of 900mm width next to the sink/cooktop/BBQ as vacant space (without cabinetry under the bench top)
- Provide long lever tap to sink with and handle and water source being within 300mm from the front edge of the benchtop.
- Provide 1 double GPO within 300mm from the front edge of the benchtop.

Advisory note for Reception tables (where provided)

- It is recommended that a lower section for a width of 900mm could be provided to be able to be used by a person in a wheelchair. Height of the FFL (finished floor level) to the top of the table to be 850+/-20mm and height of clearance beneath the unit from the FFL to be 820+/-20mm

Details to be verified at CC stage of works.

BCA 2019 Part D3.2 Access to buildings

Requirement

Accessway is required from:

- Main pedestrian entry door for existing buildings (as per APS)
- Any other accessible building connected by a pedestrian link.
- Accessible car parking spaces.

Compliance

Complies (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

- Level Access has been provided from the main pedestrian entry door
- Details to be verified at CC stage of works.

Requirement

Common use External Walkway / Pedestrian access requirements as per AS1428-2009:

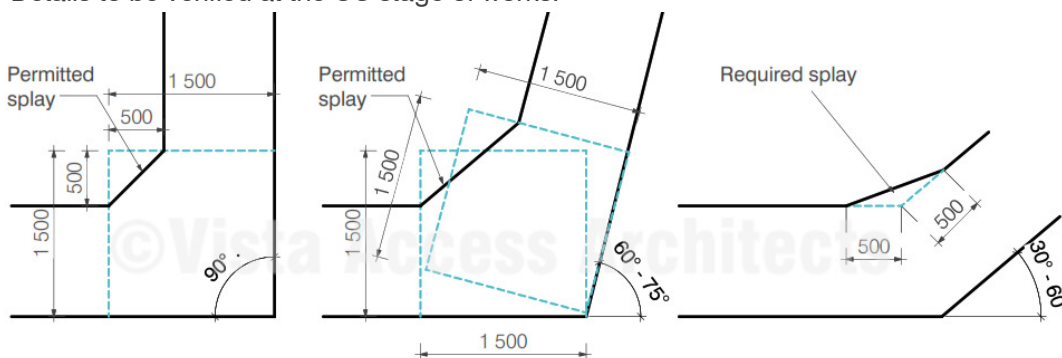
- Accessible path of travel to have a gradient no steeper than 1 in 20 and a cross fall no steeper than 1:40 (1:33 for bitumen).
- For 1:20 grade walkways, landings are required every 15M.
- The floor surface abutting the sides of the walkway to be provided with a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm unless one of the following is provided: kerb, kerb-rail and handrail or wall of minimum 450mm height.
- Curved walkways to be min 1500mm width with crossfall towards the centre of curvature.
- At 90-degree bends in pathways provide a 1500mmx1500mm space with maximum 500mm splay permitted at internal corner.

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Details to be verified at the CC stage of works.



[Image description: Spatial

requirements of walkways with bends as per AS1428.1]

Requirement

Common use floor or ground surfaces

- Use slip-resistant surfaces
- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition.
- Construction tolerances to be +/- 3mm vertical or +/-5mm, provided the edges have a bevelled or rounded edge (See diagrams below)

Grates if used in the accessible path of travel are required to comply with the following:

- Circular openings maximum of 13 mm in diameter
- Slotted openings maximum of 13 mm wide and be oriented so that the long dimension is transverse to the dominant direction of travel

Where slotted openings are less than 8 mm, the length of the slots may continue across the width of paths of travel

Compliance

Capable of compliance

Comments

Details to be verified at the CC stage of works.

Requirement

Accessway is required through:

- Principal pedestrian entry; and
- Not less than 50% of all pedestrian entrances; and
- In building with floor area over 500m², a non-accessible entry must not be located more than 50M from an accessible entry.

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

50% of the pedestrian entries, including the main entry have been designed to be accessible with a non-accessible entry not more than 50M from an accessible entry.

Requirement

All common use doorways and doorways to and within Accessible units to comply with AS1428.1. Where accessible pedestrian entry has Multiple doorways:

- At least 1 to be accessible if 3 provided
- At least 50% to be accessible, if more than 3 provided
- Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)

Doorway requirements

- All common use doorways in the development within accessible path of travel (other than doorways non-accessible sanitary facilities) to have a clear opening of at least 850mm with appropriate door circulation spaces in accordance with AS1428.1. In case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1.
- Ambulant toilet cubicle door to have a clear door opening of 700mm.

- Space required for door circulation spaces to have a maximum floor grade of 1:40 (doorway threshold ramps are permitted within the circulation space).
- Door thresholds are to be level, or they can incorporate a doorway threshold ramp with a maximum grade of 1:8, for maximum rise of 35mm and a maximum length of 280mm and located within 20mm of the door leaf, with edges to be tapered or splayed at a minimum of 45° where it does not abut a wall.
- Sliding doorways to be provided with recessed floor tracks to enable flush transition from the inside of the building.
- Distance between successive doorways in airlocks to be 1450mm which is measured when the door is in open position in case of swinging doors.
- Door hardware including door handles, door closers and the in-use indicators / snibs in accessible and ambulant toilets are required to comply with requirements of AS1428.1.
- Luminance contrast requirements to doorways and other glazed areas to comply with AS1428.1

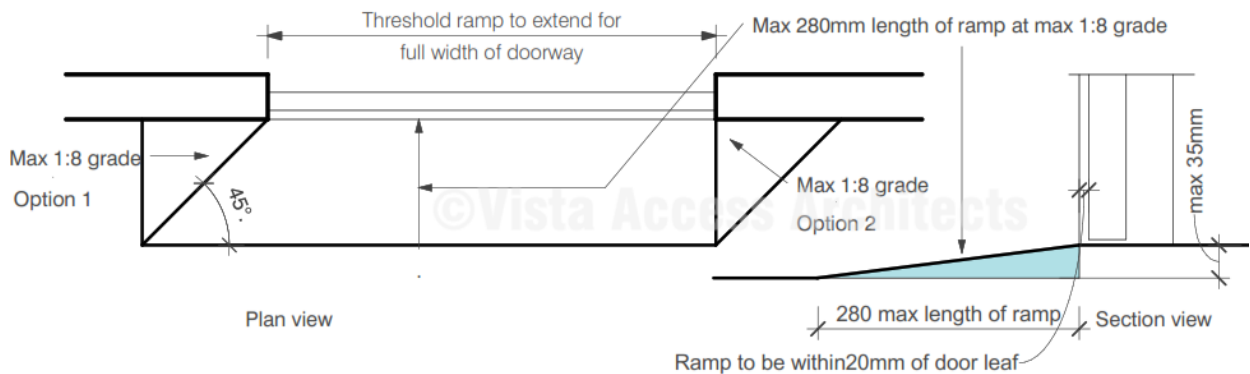
Compliance

Capable of compliance

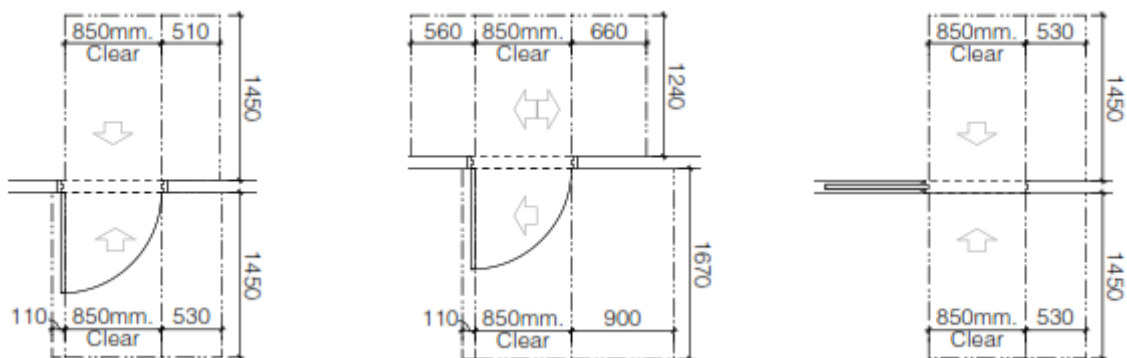
Comments

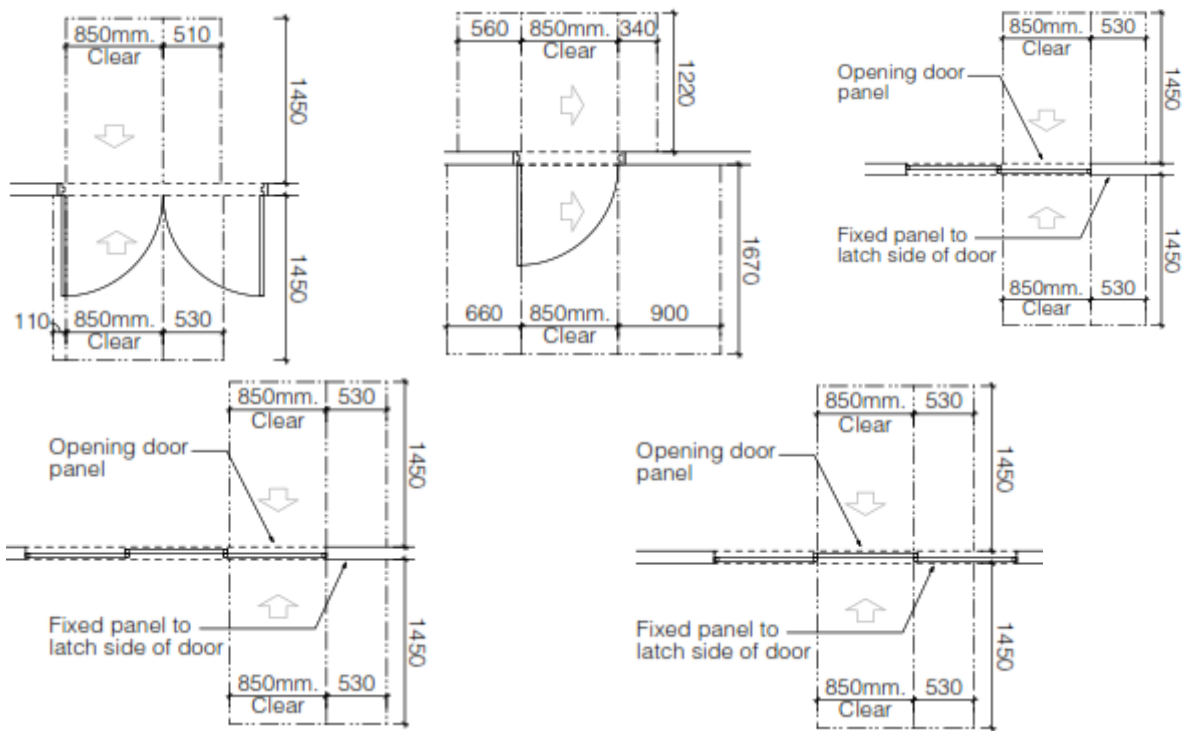
Details to be verified at the CC stage of works.

Where moving walls are proposed, latch side spaces are still required unless accompanied by a performance solution at the CC stage of works.

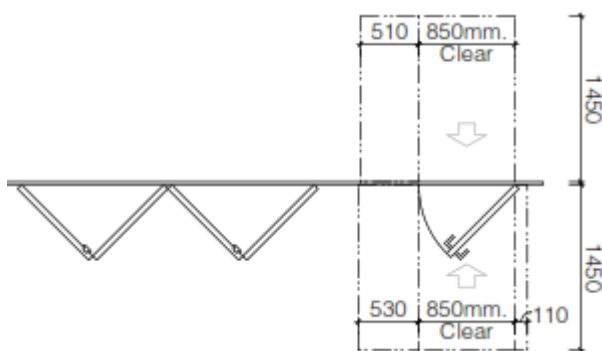


[Image description: Diagram showing requirements for door circulation spaces and door threshold requirements as per AS1428.1]



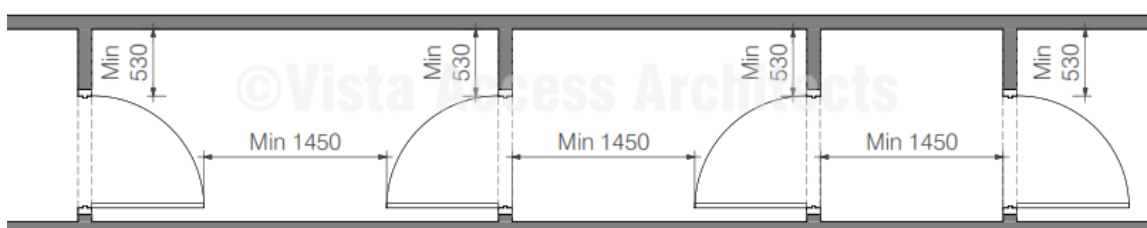


[Image description: Diagram showing requirements for door circulation spaces and door threshold requirements as per AS1428.1 for clear opening of 850mm]



Where bi-fold doorways have been provided, one door panel is to be provided such that it can be used as an 850mm clear opening hinged door with door circulation spaces as per AS1428.1

[Image description: Bi-fold type doorway showing provision of a hinged door]



Distances in between airlocks to provide for a minimum 1450mm clear of door swing and minimum latch side space as shown in following diagram.

[Image description: Circulation spaces required in airlocks in a required accessible path of travel]

BCA 2019 Part D3.3 Parts of buildings required to be accessible

Requirement

Every common use **Ramp** with grades steeper than 1:20 and less than or equal to 1:14 (excluding fire-isolated ramp) is to be compliant with Clause 10 of AS1428.1:

- AS1428.1-2009 (including but not limited to - maximum grade of 1:14 with appropriate landings at a maximum of 9M of a flight of ramp).
- 1M clear width to be provided between handrails / kerb / kerbrails. (curved ramps to be min 1.5M width between handrails / kerb / kerbrails with crossfall towards the centre of curvature) and located at height between 865mm-1000mm above FFL (finished floor level).
- Handrails and kerbs to be provided on both sides with appropriate handrails extensions.
- Slip resistance of ramp and landings to comply with BCA Table D2.14

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Detailed features of the ramp will be assessed with the requirements of AS1428.1-2009 at the CC stage of works.

Requirement

Step ramp if provided in common use areas is to be compliant with AS1428.1-2009 including;

- Maximum gradient of 1:10.
- 1M clear width between handrails / kerb / kerbrails / walls.
- Maximum rise of 190mm and maximum length of 1900mm.
- Upper and lower landings to be 1500mm in length or can be reduced to 1200mm if there is no change in direction. Where doors are provided on ramp landings, the landing size would also have to comply with the door circulation space requirements.
- As per BCA, TGSIs are not to be provided to step ramps.
- Handrail is not required if a wall or suitable barrier (minimum 450mm height) is provided or a 45° splay is provided.
- Handrails do not require handrail extensions like a typical 1:14 ramp and where open balustrade is provided a kerb or kerb rail is also to be provided.
- A landing for a step ramp must not overlap a landing for another step ramp or ramp
- No TGSIs to be provided to step ramps.

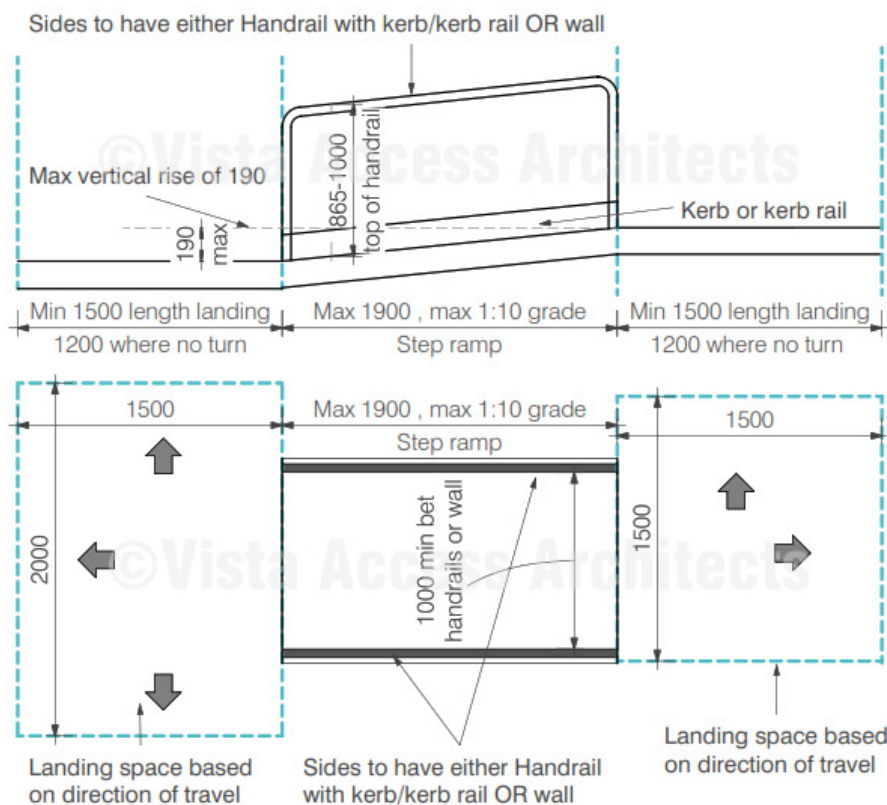
Step ramp if provided in common use areas is to be compliant with AS1428.1-2009 and NCC/BCA

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Requirements are noted as specifications on Architectural plan number **[Architectural plan number with Spec]**



Min height of wall, where provided to be 450mm. The height of wall can be reduced to 150mm by means of a performance solution subject to PCA consent.

[Image description: Diagram shows the requirements of a Step ramp as per AS1428.1]

Requirement

Kerb ramp if provided in common use areas is to be compliant with AS1428.1-2009

Compliance N/A

Comments

No kerb ramps have been identified within the new works, modified works and works within the affected path.

Requirement

Every **Stairway** in common use areas (excluding fire-isolated stairway) is to be compliant with:

- Clause 11 of AS1428.1-2009 (including but not limited to opaque risers, handrails on both sides including appropriate handrail extensions between 1M clear width and compliant nosing strips).
- Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
- Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.

Compliance Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

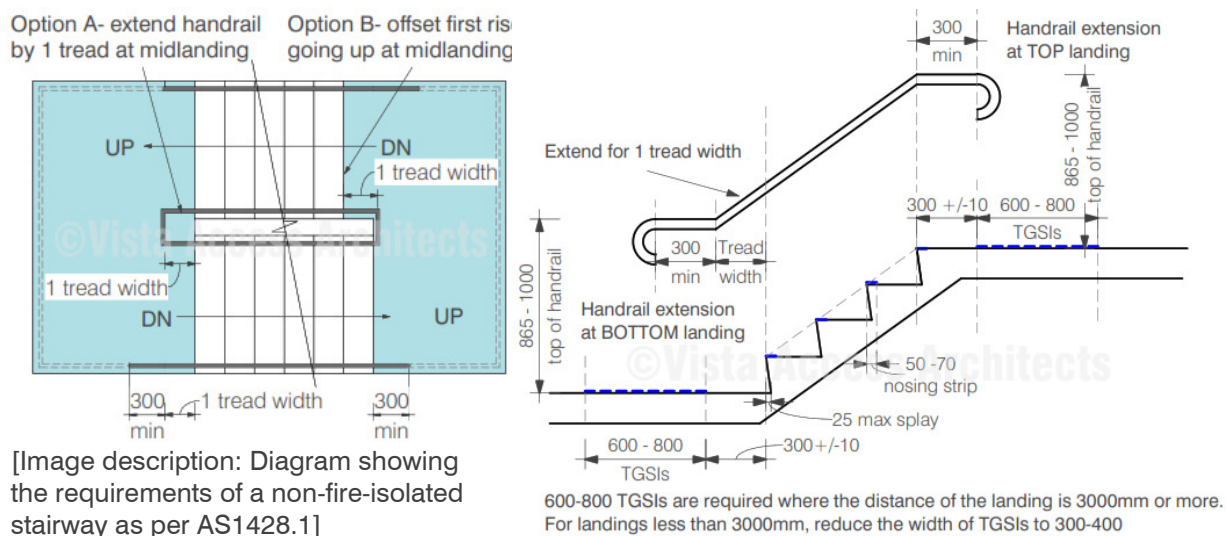
Where non-fire-isolated stairways have been provided, the features of the stairway will be assessed with the requirements of AS1428.1-2009 at the CC stage of works

Note: For stairways with 90° to 180° turns at landings, in order for the handrails to comply with the consistent height requirement, the risers have to be offset at the mid-landings so that no vertical sections are created in the handrails. This applies to both non- fire-isolated and fire-isolated stairways.

Advisory note for tiered seating areas

Note: This will be subject to a performance solution at the CC stage of works

- It is recommended that tiered seating areas be provided with a stairway with fully compliant handrail on at least one side of the stairway servicing the tiered seating area. Compliant nosing strips and TGSIs to be provided to the stairway. Note that a performance solution may be required for non-provision of the second handrail at the CC stage of works.
- It is recommended that the tiered seating be provided with compliant nosing strips which can be painted for improved visibility.



[Image description: Diagram showing the requirements of a non-fire-isolated stairway as per AS1428.1]

Requirement

Every **Fire-isolated Stairway** is to be compliant with AS1428.1-2009 in the following aspects:

- Handrail on one side (requirement under D2.17) with 1M clear space. Handrail extensions are not required however since the handrails cannot have any vertical sections and since handrail is required to be at a consistent height throughout the stairway including at landings, it may be essential to either provide handrail extensions or offset first riser going up at mid landings to achieve this at 90° to 180° turns. Handrails to both sides of the stairway are required if the total width of the stairway is 2M or more.
- Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.
- Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.

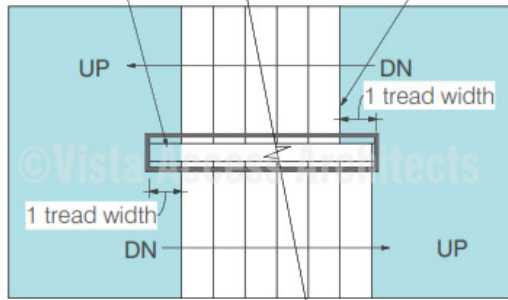
Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Where fire-isolated stairways have been provided, the features of the stairway will be assessed with the requirements of AS1428.1-2009 at the CC stage of works
Handrails to both sides are not required, however the internal handrail is to be continuous and to comply with all requirements of non-fire-isolated stairways.

Option A- extend handrail by 1 tread at midlanding
Option B- offset first riser going up at midlanding



[Image description: Diagram showing the requirements of a fire-isolated stairway as per AS1428.1]

Requirement

Nosing for common use fire-isolated and non-fire-isolated stairways require the following:

- Each tread to have a nosing strip between 50mm-75mm depth (of any one colour) for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing.
- Multiple strips making up the 50mm-75mm depth is NOT permitted.
- This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
- Where the nosing strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10mm
- Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.

Compliance

Capable of compliance

Comments

Detailed features of the nosing strips will be assessed with the requirements of AS1428.1 at the CC stage of works.

Requirement

Slip resistance requirements as per BCA

BCA Table D2.14 Slip –resistance requirements when tested in accordance with AS4586:

Application	Surface conditions	
	Dry	Wet
Ramp steeper than 1:14	P4 or R11	P5 or R12
Ramp steeper than 1:20 but not steeper than 1:14	P3 or R10	P4 or R11
Tread or landing surface	P3 or R10	P4 or R11
Nosing or landing edge strip	P3	P4

HB 197/ HB198 An introductory guide to the slip resistance of pedestrian surface materials provides guidelines for the selection of slip-resistant pedestrian surfaces

Compliance

Capable of compliance

Comments

For Slip resistance of surfaces the builder is required to provide a Certificate stating that the Slip resistance of the surfaces comply with the above listed requirements when tested as per AS4586 at CC stage of works.

Requirement

Every **Passenger lift** is to comply with the requirements of BCA E3.6.

Compliance Capable of compliance

Comments

This has been assessed further in the report in the Lifts section. Refer to Lifts section.

Requirement

Passing spaces requirement

It is a requirement to provide passing spaces in common use accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800x2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners.

Compliance N/A

Comments

There are no accessways over 20M lengths in the development where a direct line of sight is not available.

Requirement

Turning spaces requirement

It is a requirement to provide turning spaces in common use accessways complying with AS1428.1-2009 within 2M of the end of accessways where it is not possible to continue travelling and at every 20M intervals. CLEAR Space required is 1540mmx2070mm in the direction of travel (measured from skirting to skirting).

Compliance Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

- Adequate turning spaces have been provided with minimum common use passageway widths being 1540mm clear or alternatively a space of 1540mmx2070mm provided at or within 2M of the end of the passageway.
- A space of 1540mmx2070mm is also required / provided in front of all passenger lift doors.

Note: This will be subject to a performance solution at the CC stage of works for non compliance Details to be verified at CC stage of works.

Requirement

Carpet specifications

Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.

Compliance Capable of compliance

Comments

Applies only if carpets are provided in the common use areas of residential component including within any Accessible units
Details to be verified at CC stage of works.

BCA 2019 Part D3.4 Exemption

Requirement

Access is not required to be provided in the following areas:

- Where access would be inappropriate because of the use of the area
- Where area would pose a health and safety risk
- Any path which exclusively provides access to an exempted area

Compliance

For information only

Comments

Areas such as lift machine rooms, fire services room, commercial kitchens etc. in the development are exempted from providing access under this clause due to WHS concerns.

Where a caretaker is provided in the development, the toilet provided exclusively for use by the caretaker can be excluded from providing access based on the provisions in this clause.

BCA 2019 Part D3.5 Accessible Carparking

Requirement

Class 3

For Accessible parking requirements for boarding house, guest house, hostel etc.

Multiply total number of carparking spaces provided by the % of

- Accessible SOUs to the total number of SOUs or
- Accessible bedrooms to the total number of bedrooms

Calculated to the next whole number

For Accessible parking requirements for residential part of school, accommodation for the aged, the disabled or children, residential part of health care building etc.

- 1 space per 100 carparking spaces

Compliance

N/A

Comments

N/A

Carparking does not form part of this assessment and is not identified in the scope of works.

Requirement

Class 9b

- School - 1 Accessible car parking space per 100 spaces provided
- Other assembly building - 1 Accessible car parking space per 50 spaces provided and then additional 1 Accessible car parking space per additional 100 spaces provided

Compliance

N/A

Comments

N/A

Carparking does not form part of this assessment and is not identified in the scope of works.

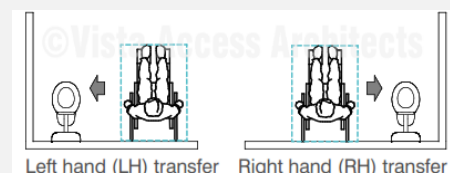
BCA 2019 Part D3.6 Signage

Requirement

Braille and Tactile signage are required to identify Accessible Sanitary facilities



[Image description: Diagram to help choose the correct signage based on LH/RH transfer]



International sign of access is required to signage to all accessible sanitary facilities (excluding SOUs within Class 1b or Class 3) and signage is required to identify if facility is for LH (left hand transfer) or RH (right hand transfer)

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Braille and Tactile signage are required immediately outside an airlock or doorway that leads to separate male, female and accessible toilets.



Compliance

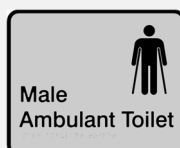
Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Braille and Tactile signage are required to identify Ambulant Sanitary facilities



Place sign on ambulant toilet cubicle door.
[Image description: Image of Signage]

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.
Note: BCA requires female and male ambulant facilities. However, in this case, it is our opinion that a unisex ambulant facility provision is appropriate. Note that PCA may request a performance solution for provision of a unisex ambulant facility at CC stage of works.

Requirement



Braille and Tactile signage is required to identify Hearing Augmentation

International sign of deafness is required to signage to identify a space with hearing augmentation, also identify the type of hearing augmentation, area covered and location of receivers if used.

[Image description: Image of Signage, Swap all caps text with Capital case]

Compliance

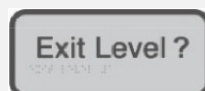
Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Braille and Tactile signage is required to identify a Fire exit door required by E4.5 by stating the 'Exit' and 'Level', followed by either the floor level number or floor level descriptor or a combination of both of the above and located on the side that faces a person seeking egress



[Image description: Image of Signage The "?" shown in image is to be replaced with the floor level where the door is located]

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement



Signage is required to a non-accessible pedestrian entrance

as per AS1428.1-2009 to direct to the nearest accessible pedestrian entry.

[Image description: Image of directional Signage]

Arrow direction on this signage is indicative only and the direction of the arrow will be based on the location of the accessible entry.

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.

Directional signage incorporating the international symbol of access as per AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Directional signage: In a building subject to F2.9, directional signage complying with Specification D3.6 must be provided at the location of each—

- i. bank of sanitary facilities; and
- ii. accessible unisex sanitary facility, other than one that incorporates an accessible adult change facility, to direct a person to the location of the nearest accessible adult change facility within that building.

Compliance

N/A

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

Requirement

Signage is required to be as per Specification D3.6 Braille and Tactile Signs

This includes location of signage, specifications in regard to braille and tactile characters, luminance contrast and lighting.

Compliance

Capable of compliance

Comments

Signage selections generally take place at CC stage of works. Selection and location of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.

BCA 2019 Part D3.7 Hearing Augmentation

Requirement

Hearing Augmentation requirements

- Where Hearing Augmentation is provided in form of an **induction loop**, it must be provided to not less than 80% of the floor area.
- Where Hearing Augmentation is provided in form of a **system that uses receivers**, it must be provided to not less than 95% of the floor area. The number of receivers:

For up to 500 persons	1 receiver per 25 persons or minimum of 2
For between 500-1000 persons	20 receivers + 1 per 33 persons over 500 persons
For between 1000-2000 persons	35 receivers + 1 per 50 persons over 1000 persons
For over 2000 persons	55 receivers + 1 per 100 persons over 2000 persons

- A **screen or scoreboard** associated in Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system, other than a public address system used for emergency warning only.

Compliance

Capable of compliance

Comments

Details to be verified at CC stage of works.

BCA 2019 Part D3.8 Tactile ground surface indicators (TGSIs)

Requirement

TGSIs are required when approaching:

- Stairways other than fire-isolated stairways.
- Escalators / passenger conveyor / moving walk.
- Ramp (other than fire-isolated ramps, kerb ramps, step ramps or swimming pool ramps).
- Under an overhead obstruction of <2M if no barrier is provided.
- When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location).

Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs. TGSIs to extend for full width i.e., handrail to handrail.

Compliance

Capable of compliance

Comments

TGSI selections generally take place at CC stage of works. Selection of TGSIs as specified will lead to compliance and these selection details are to be verified at CC stage of works.

BCA 2019 B3.9 Wheelchair seating in Class 9b assembly buildings

Requirement

Wheelchair seating spaces to be as below;

Up to 150	3 spaces	1 single + 1 group of 2
151-800	3 spaces + 1/50 over 150	1 single + 1 group of 2, ≥5 in a group
801-10000	16 spaces + 1/100 over 800	< 2 single + < 2 groups of 2, ≥5 in a group
>10000	108 spaces + 1/200 over 10000	< 5 single + < 5 groups of 2, ≥10 in a group

When <300 seats, wheelchair spaces are not to be in the front row

When >300 seats, 75%, wheelchair spaces are not to be in the front row

Locations to represent the range of seating options available

Compliance N/A

Comments

No assembly areas with fixed seatings have been identified in the development.

BCA 2019 Part D3.11 Limitations on Ramps

Requirement

On an accessway:

- A series of connected ramps must not have a combined vertical rise of more than 3.6M;
- And a landing for a step ramp must not overlap a landing for another step ramp or ramp.

Compliance Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Compliance is met

BCA 2019 Part D3.12 Glazing on Accessways

Requirement

Glazing requirements:

- Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip
- The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.

Compliance Capable of compliance

Comments

Glazing strips are required to be provided to full height glazed areas (doors and windows)
Glazing strip selections generally take place at CC stage of works. Selection of glazing strips as specified above will lead to compliance and details are to be verified at CC stage of works.

BCA Part F Accessible Sanitary Facilities

BCA 2019 Part F2.4 Accessible Sanitary facilities

Requirement

Accessible unisex toilet is to be provided in accessible part of building such that;

- It can be entered without crossing an area reserved for 1 sex only
- Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations
- Even distribution of LH and RH facilities
- An accessible facility is not required on a level with no lift / ramp access.

Compliance

Capable of compliance

Comments

16 x accessible toilets have been provided in the development.

Note: This will be subject to a Performance Solution at the CC stage of works as some accessible WC's are located with the male bank only, where the BCA/NCC requires the facilities to be unisex.

BCA 2019 Part F2.4(a) Accessible unisex sanitary compartments

Requirement

Class 3

- 1 Accessible toilet within every accessible SOU provided with sanitary compartments.
- At least 1 unisex Accessible toilet when sanitary compartments are provided in common areas.

Compliance

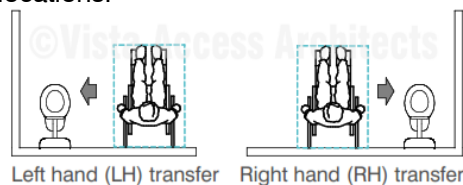
Capable of compliance

Comments

The following common use sanitary facilities have been identified in the development

Location	Unisex Accessible facilities			
	LH	LH + Shower	RH	RH + Shower
Unisex accessible toilet Block EF (staff)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Male accessible toilet Block EF (male only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block A (staff accommodation)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block D	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block A First Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 1	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Staff Accommodation infirmary	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block 3	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 5	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 6	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: an even mix of RH and LH transfer options are to be provided to the development for the accessible toilets and showers. In particular the dorms shall also provide an even mix. This can be addressed at the Construction Certificate stage of works by swapping the WC and shower locations.



Requirement

Class 9

- 1 unisex Accessible toilet on every storey containing sanitary compartments. Where more than 1 bank of sanitary compartments on a level, at 50% of banks

Compliance

Complies

Comments

The following common use sanitary facilities have been identified in the development

Location	Unisex Accessible facilities			
	LH	LH + Shower	RH	RH + Shower
Unisex accessible toilet Block A (staff)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unisex accessible toilet Block A (staff resource area)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block B	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block C	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

BCA 2019 Part F2.4(b) Requirements for Accessible unisex showers

Requirement

Class 3

- 1 Accessible shower within every accessible SOU provided with showers and
At least 1 unisex Accessible shower for every 10 showers provided in common areas.

Compliance

Complies

Comments

The following common use sanitary facilities have been identified in the development

Location	Unisex Accessible facilities			
	LH	LH + Shower	RH	RH + Shower
Unisex accessible toilet Block EF (staff)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Male accessible toilet Block EF (male only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block A (staff accommodation)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block D	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block A First Floor	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 1	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Staff Accommodation infirmary	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block 3	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 5	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Dorm 6	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Requirement

Class 9

When BCA requires provision of 1 or more showers, then 1 for every 10 showers.

Compliance

Complies

Comments

The following common use sanitary facilities have been identified in the development

Location	Unisex Accessible facilities			
	LH	LH + Shower	RH	RH + Shower
Unisex accessible toilet Block A (staff)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unisex accessible toilet Block A (staff resource area)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block B	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unisex accessible toilet Block C	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

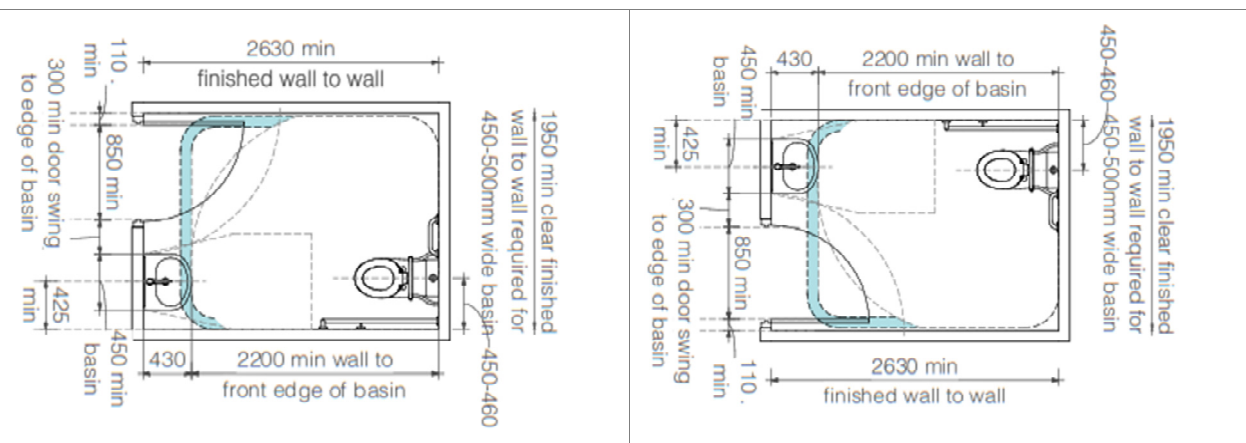
Requirement

Accessible unisex toilet is to be designed in accordance with AS1428.1-2009

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments



Detailed features of the accessible toilet will be assessed at the CC stage of works

Requirement

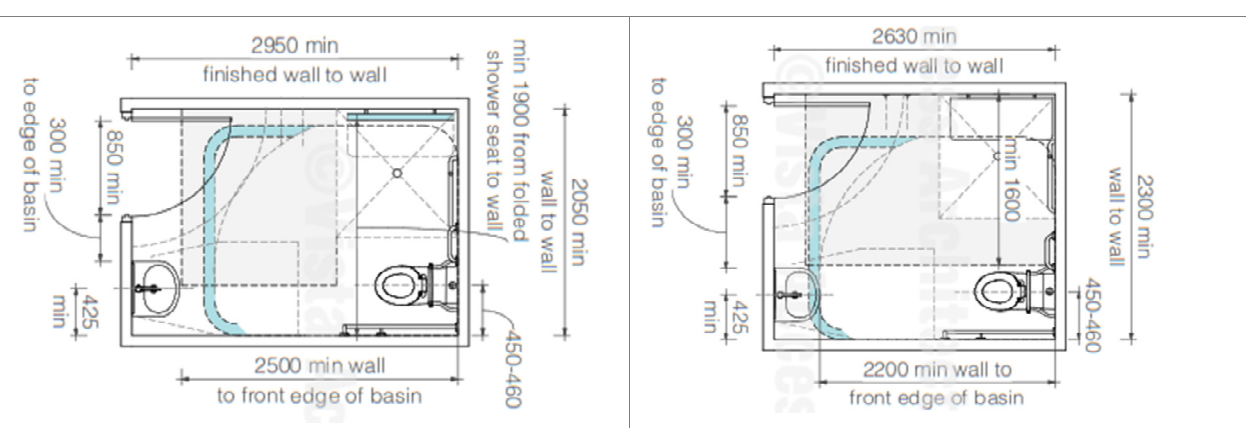
Showers for Accessible use are to be designed in accordance with AS1428.1

Compliance

Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Detailed features of the Accessible shower will be assessed at the CC stage of works



Requirement

Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided

Compliance

Complies (subject to a performance solution at CC stage of works)

Comments

The following ambulant toilets have been provided

Note: This will be subject to a performance solution at the CC stage of works

Location	Ambulant toilets		
	Male ambulant	Female ambulant	Unisex Ambulant
On Block E & F	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Block E	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
On Block E	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Block A	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
On Block A	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
On Block B	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
On Dorm 1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Dorm 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Dorm 3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Dorm 4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Dorm 5	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
On Dorm 6	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: BCA requires female and male ambulant facilities. However, in this case, it is our opinion that a unisex ambulant facility provision is appropriate. Note that PCA may request a performance solution for provision of a unisex ambulant facility.

Requirement

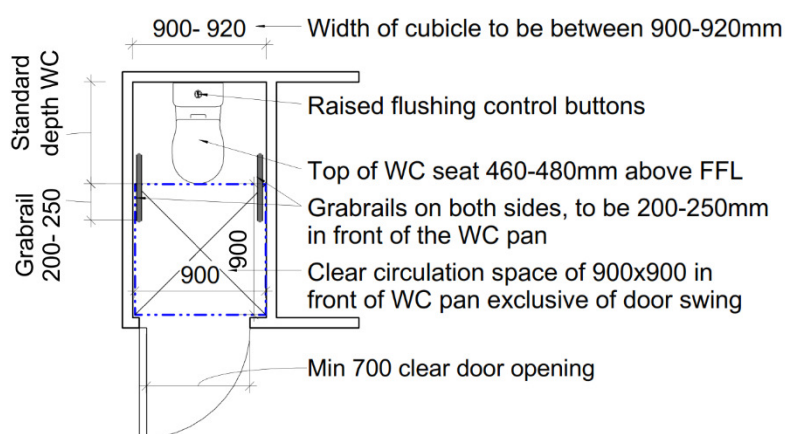
Ambulant use toilets are to be designed in accordance with AS1428.1-2009

Compliance

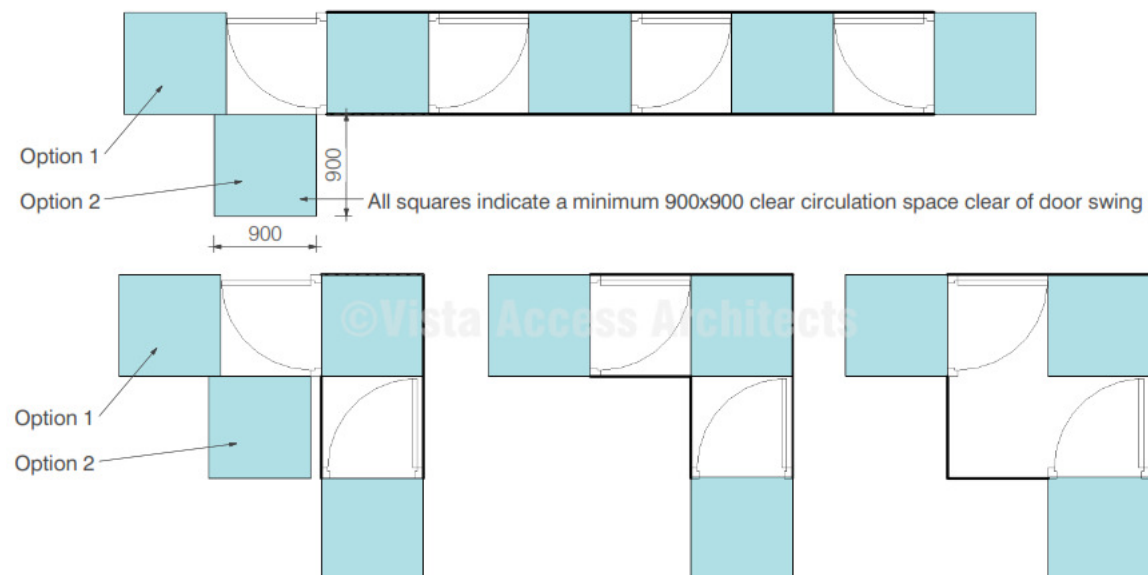
Complies with spatial requirements (limited to new works, modified works and works within the affected path as identified earlier in the report)

Comments

Detailed features of the Ambulant toilets will be assessed at the CC stage of works



[Image description: Diagram showing requirements for circulation spaces for fixtures in an Ambulant toilet as per AS1428.1]



[Image description: Diagram showing requirements for circulation spaces for airlocks leading to Ambulant toilet as per AS1428.1]

BCA Part E Lift Installations

BCA 2019 Part E3.2 Stretcher facility in lifts

Requirement

A **Stretcher lift** is to be provided if a passenger lift is installed to serve any storey with an effective height of 12M. The space requirement is 600mm wide x 2000mm deep x 1400mm high above the floor level. Confirm this requirement with your BCA consultant.

Compliance

For information only

Comments

Contact BCA consultant in regard to applicable requirements.

BCA 2019 Part E3.6 Passenger lift and their limitations

Requirement

In an accessible building, **Every Passenger Lift** (excluding electric passenger lift, electrohydraulic passenger lift, inclined lift) must be subject to limitations on use and must comply with **Tables E3.6a and E3.6b**

Compliance

Capable of compliance

Comments

A **certificate of compliance from the lift supplier**, stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations will be required at the CC stage of works

Limitations on use of types of passenger lifts

Requirement

Limitations on use of Stairway platform lifts. They must-

- Only serve an area accommodating maximum 100 persons
- Not serve high traffic public areas like cinema, auditorium, transport interchange, shopping centre, etc.
- Not be used where it is possible to install another type of lift
- Not connect more than 2 storeys
- Not serve more than 2 consecutive storeys where more than 1 stairway lift is provided.
- Not encroach on the minimum required width of the stairway when in folded position
- Lift floor dimensions for Stairway platform lift- 810mm wide x 1200mm deep.

Limitations on use of Low-rise platform lift

- Must not travel more than 1M

Limitations on use of Low-rise, low-speed constant pressure lift

- If enclosed, must not travel more than 4M
- If unenclosed, must not travel more than 2M
- Must not be used in high traffic public use areas in buildings such as theatres, cinema, auditorium, transport interchange, shopping complex, etc.

Limitations on use of small sized, low-speed automatic lift

- Must not travel more than 12M

Compliance

Capable of compliance

Comments

A wheelchair low-rise platform lift has been provided within the development in several locations.

Note: Automated doors are required to platform lifts as the latch side space may not be possible to provide to the gate/door of the platform lift.

A certificate of compliance from the lift supplier will be required stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations.

BCA 2019 Part E3.6 Accessible features required for passenger lifts

Requirement

Handrail requirements for passenger lifts. Apart from stairway platform lift and low-rise lifts, a handrail is required as per AS1735.12:

- 600mm minimum handrail not more than 500mm from control panel
- Top of handrail between 850-950mm above FFL
- Diameter of handrails to be between 30-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc

Lift floor dimensions (excluding stairway platform lift)

- Lifts traveling **12M** or under, floor size, **1100mm wide x 1400mm deep**
Lifts travelling **more than 12M**, floor size **1400mm wide x 1600mm deep**

Minimum **Door opening size** complying with AS1735.12, not less than 900mm clear (excluding stairway platform lift).

All lifts with a power operated door are required to have a **Passenger protection system** complying with AS1735.12.

Lift landing doors to be provided at upper landing (excluding stairway platform lift).

Lift car and landing control buttons complying with AS1735.12

Some of the requirements listed below. Refer to AS1735.12 for further details.

For internal control panel:

- If width or depth of car is less than 1400mm, 2 control panels to be provided, one to the left and one to the right of the person entering the car
- Tactile symbol and Braille equivalent to be provided
- Buttons to be located between 900-1100mm above FFL
- All buttons to be 300mm from corner (near entry) and 400mm of all other corners

For external control panel:

To be located between 900-1100mm above FFL and not less than 500mm from internal corners unless otherwise permitted by AS1735.12

Lighting (for all enclosed lift cars) to be provided in accordance with AS1735.12 and AS1680. Minimum illuminance of 100 lx is required at the level of the car floor and average of 50 lx is required on the control panel surface.

To all lifts serving more than 2 levels

- Automatic audible information to identify level when car stops
- Audible and visual indication at landing to indicate arrival of lift car

Audible information and indication to be provided between 20-80 dB(A) at a maximum frequency of 1500Hz

Emergency hands free communication (excluding stairway platform lift) – provide a button that alerts a call centre and a light that the call has been received.

Compliance

Capable of compliance

Comments

A certificate of compliance from the lift supplier, stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations will be required at the CC stage of works

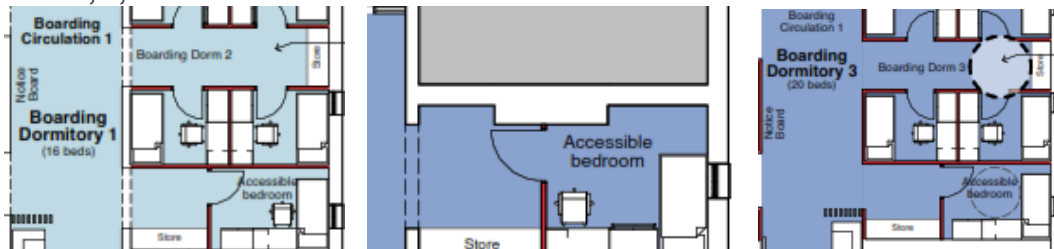
Accessible SOU requirements

BCA does not specify the features required for an Accessible SOU. The following are selected features of AS1428.1 which are considered suitable for an Accessible SOU.

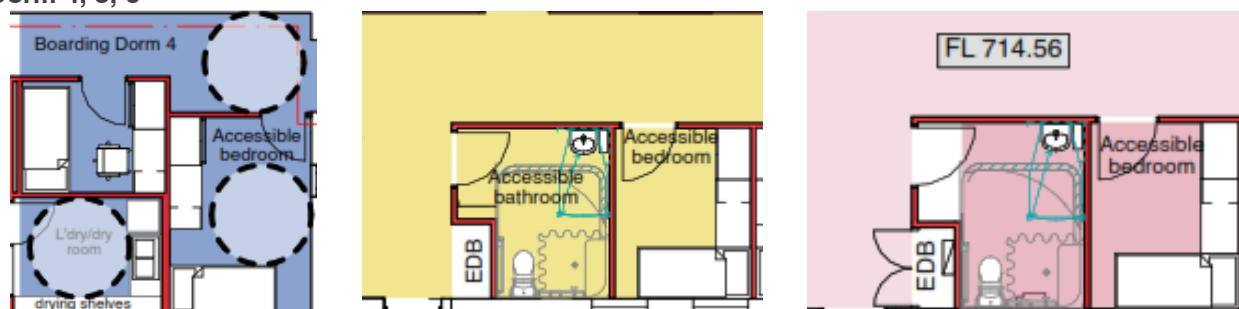
The development has a requirement for 6 Accessible dorm rooms.

The nominated Accessible dorm rooms are location within Dorm 1, 2, 3, 4, 5, and 6.

Dorm 1, 2, 3



Dorm 4, 5, 6



R ☒ = Required;

C ☒ = Capable of compliance at by adding the requirement to the project specifications.

Requirements as per AS1428	R	C	Comments
1 Doorways All doors including entry door to provide 850mm clear opening space with the necessary door circulation spaces and fixtures as specified under AS1428.1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Complies Details to be verified at the CC stage of works.
2 Bathroom At least 1 Bathroom to accommodate, WC pan, Shower and handwash basin with the necessary fixtures and circulation spaces as specified under AS1428.1	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Complies Common use bathrooms have been provided. Details to be verified at the CC stage of works.
3 Laundry Where internal laundry provided, provide for a space of 1550mm space in front of laundry appliances.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Complies Common use laundries have been provided. However the boarding facilities provide a contractor to do all washing for students. Students do have an option to wash personal items. Details to be verified at the CC stage of works.

Requirements as per AS1428	R	C	Comments
4 Main bedroom			
At least 1 bedroom to have a queen bed with circulation space of 1540mm x 2070mm at the base or side of the bed and at least 1M on the other 2 sides. In the case of a dorm room a single bed may be used with the same circulation spaces.	✓	✓	Complies In the case of dorm rooms houses, it is reasonable for a single bed to be provided in a corner with 1540mm space to one side of the bed and 1000mm space to another side of the bed. Details to be verified at the CC stage of works.
5 Living areas			
Adequate circulation space is to be available after the placement of furniture. Circulation space of minimum 2250mm diameter is considered to be appropriate.	✓	✓	Complies In case of dorm rooms- Common use living areas have been provided which comply with the requirement. Details to be verified at the CC stage of works.
6 Kitchen / Kitchenette			
Where internal kitchenette provided, <ul style="list-style-type: none"> 1550mm clear spaces is required in front of the benchtops. Provide long arm lever tap (water source and lever of tap to be within 300mm from front of bench) 1 double GPO within 300mm of front bench. Consideration to be given to provision of an 850mm section without base cabinetry or removable cabinetry to allow for access to benchtop and a benchtop space of 800mm between the fridge and cooktop.	✓	✓	Complies In this case as the site is a boarding school, a common meal hall is provided which is accessible. Common use kitchenettes have been provided to each dorm which satisfies the requirements. Details to be verified at the CC stage of works.
7 Balconies and outdoor areas			
Where access is available from the unit to the outdoor areas such as balconies and courtyards, an accessible threshold is required, with door tracks for sliding doors (if any) to be flush with the internal floor level and max height of external threshold ramp of 35mm height.	✓	✓	N/A
8 Flooring			
All flooring is required to be step free. Construction tolerances, slip resistant and waterproofing to be as required under relevant Australian Standards.	✓	✓	Complies Details to be verified at the CC stage of works.
9 Switches and GPOs			
All switches, GPOs and controls (including controls for intercom facilities) to be accessible as required under AS1428.1 which include <ul style="list-style-type: none"> Rocker action / toggle switches to be provided in with a minimum size of 30mmx30mm located 900-1100mm above FFL and not less than 500mm from internal corners except where on the architrave on the latch side of the door. 	✓	✓	Complies Details to be verified at the CC stage of works.

Requirements as per AS1428**R****C****Comments**

- GPOs to be located between 600-1100mm above FFL and minimum of 500mm from any internal corners

Statement of Experience

Vista Access Architects specialises in access consultancy services, including, Access requirements and Access Performance Solutions under the NCC, NDIS SDA Certifications, Livable Housing Certifications and Changing Places Certifications.



Farah Madon - Director

ACAA Accredited Access Consultant
NDIS Accredited SDA Assessor
Livable Housing Assessor
Changing Places Assessor

- Accredited member of the Association of Consultants in Access Australia (ACAA) - 281
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00001
- Architect registered with the NSW Architect's Registration Board - Registration 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice Member 49397
- Registered Assessor of Livable Housing Australia - Registration 10032
- Global Alliance on Accessible Technologies and Environments (GAATES) - BE-02-021-20
- Registered Assessor of Changing Places Australia - Registration CP006

Farah's Educational Profile and Qualifications include:

- Bachelor of Architecture Degree with Honours (B.Arch.)
- International Certification of Accessibility Consultants – Built Environment (ICAC-BE) Program, Level 2 Advanced Accessibility Consultant
- Diploma of Access Consulting

Farah has 20 years of experience of working in the field of Architecture and Access.

Farah is the lead author of the NDIS SDA Design Standard. She has been invited on multiple occasions as an expert witness for Access related matters in the NSW Land and Environment Court.

Farah currently participates on the following key committees concerning access for people with disabilities, on an honorary basis:

- Member of Standards Australia's ME-064 Committee responsible for the AS4299 and AS1428 suite of standards.
- Vice President of Association of Consultants in Access Australia (ACAA)
- Community Representative Member of the Penrith City Council's Access Committee
- Member of Australian Institute of Architect's National Enabling Architecture Committee (NEAC)
- Management Committee member of NSW Network of Access Consultants
- Director of Livable Housing Australia (LHA)
- Member of Changing Places Australia Technical Advisory Team

Some Recent Awards presented to Farah include:

- 2021 Australian Access Awards Winner for the Educational App of the Year - SDA Tools
- 2021 Excellence in Inclusion - Altitude Awards - Winner
- 2021 Western Sydney Executive Woman of the Year - Finalist
- 2019 Penrith Citizen of the Year
- 2019 Access Inclusion Award
- 2019 Australian Access Awards Educational App of the Year - LRV Contrast App - Finalist





Vanessa Griffin

ACAA Accredited Access Consultant
 NDIS Accredited SDA Assessor
 Livable Housing Assessor
 Changing Places Assessor

- Accredited member of the Association of Consultants in Access Australia (ACAA) - 500
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00009
- Registered Assessor of Livable Housing Australia - Registration 20035
- Registered Assessor of Changing Places Australia Registration CP010

Vanessa's Educational Profile and Qualifications include:

- Diploma of Surveying and Diploma of Health and Building Surveying, Sydney Institute of Technology
- Certificate IV in Access Consulting



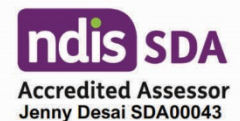
Jenny Desai

ACAA Accredited Access Consultant
 NDIS Accredited SDA Assessor
 Livable Housing Assessor

- Accredited member of the Association of Consultants in Access Australia (ACAA) - 572
- NDIS Accredited SDA (Specialist Disability Accommodation) Assessor SDA00043
- Registered Assessor of Livable Housing Australia - Registration 20242

Jenny's Educational Profile and Qualifications include:

- Master of Design (M.Des) from University of Technology, Sydney
- Certificate IV in Access Consulting



Art Phonsawat

ACAA Associate Access Consultant

- Associate member of the Association of Consultants in Access Australia (ACAA) - 695

Art's Educational Profile and Qualifications include:

- Advanced Diploma in Interior design, Sydney
- Certificate IV in Access Consulting



Trin Woo

ACAA Affiliate Access Consultant

- Affiliate Member of the Association of Consultants in Access Australia (ACAA) - 776

Trin's Educational Profile and Qualifications include:

- Architect registered with the NSW Architect's Registration Board - Registration 11059
- Master of Urban and Regional Planning at the University of Sydney (in progress)